



Zoning map amendment request: ZA-2016.13

Applicant: Andrew and Kelli Mossman (Kelli Rin Fadel Irrevocable Trust)

Current zoning: General Residential/Traditional Neighborhood Development/South Point Peninsula Overlay district (GR/TN-D/SPPO)

Proposed zoning: Rural Residential (RR)

Property location: Located on Tucker Road, just east of 4329 Tucker Rd.

Gaston County tax parcel identification number: 201479

Acreage: Approx. 6.68 acres

Location of subject property



Background: This property was part of the recent city initiated South Point Peninsula Overlay (SPPO) rezoning. During that process, the applicants contacted city staff to discuss how to develop this property for residential use. City water and sewer service is not currently available in this area. The applicants are proposing to rezone from GR/TN-D/SPPO to RR in order to develop the property without connection to municipal water and sewer, ie using a well and septic system. The only zoning district that allows new construction without connection to city water and sewer is the Rural Residential zoning district which is proposed.

Staff Analysis: The applicant requests a conventional rezoning for this property from GR/TN-D (SPPO) to RR. The RR district is coded to accommodate **very low density residential development** and is intended to maintain a rural boundary on the perimeter of Belmont **until utility infrastructure can be installed** to allow for planned growth. There is a 2 acre minimum lot size for newly platted lots in the RR zone.

Single family houses and undeveloped acreage surround this property. The single family lot sizes range from .5 to 2 acres and are served by well and septic systems.

All uses allowed in the proposed zoning district should be considered when changing a zoning designation. Should the applicant's representative make reference to a proposed use during the public hearing, you should disregard the comment and make your decision independent of the remark.

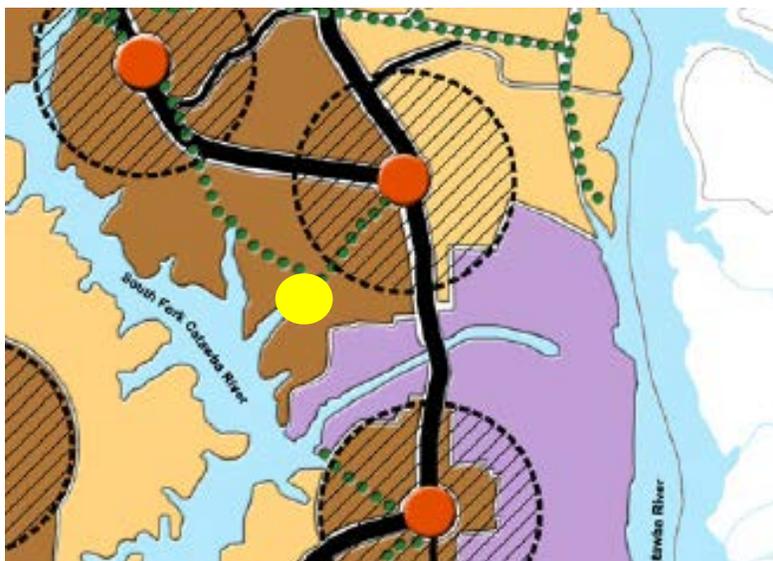
Table of permitted uses for RR zoning district:

3. Permitted Uses (Rural Residential RR)
<p>Limited Residential: The number of dwellings is limited by the required lot dimensions and the provision of public water and sewer service. <i>Permitted Uses:</i> Single Family Homes, Duplexes, Manufactured Housing, and Bona Fide Farms</p>
<p>Limited Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may only be provided to guests. <i>Permitted Uses:</i> Rental Cottages (in Ancillary Buildings) ¹ and Bed and Breakfast Inns¹</p>
<p>Restricted Office: Customary home occupation uses are permitted only provided the office use is restricted to the first floor or ancillary building and by the requirement of one assigned parking space for each 400 sq ft, in addition to the parking requirement for each dwelling. <i>Permitted Uses:</i> Home Occupations¹</p>
<p>Restricted Commercial: Drive-in Theatres shall be permitted with a minimum lot size of 3 acres, and with the establishment of a Type A buffer/screening around the perimeter of the property. (See Chapter 11.2) Day Care Centers and Day Care Homes¹. All other commercial uses are forbidden.</p>
<p>Restricted Manufacturing: Manufacturing uses are not permitted.</p>
<p>Open Civic: Civic uses shall be permitted, except those uses that exceed 25,000 square feet shall be subject to the issuance of a Conditional Use Permit.</p>
<p>Cemetery¹, Essential Services-Class 1 & 2¹, Recreational Facilities¹, Water-related Structures¹, Temporary Family Health Care Structure¹</p>

Comprehensive land use plan (LUP): According to the LUP, the parcel is located in a suburban neighborhood district which is envisioned for single family detached houses as the predominant development type.

Maximum density of three dwelling units per acre (du/a) is anticipated outside of village centers in this area. Therefore, should this property be subdivided in the future, the maximum density allowed by this zoning district is 1 dwelling unit per 2 acres, well below the desired three dwelling units per acre stated in the comp plan.

Comprehensive land use map of the area



Staff recommendation: Staff is of the opinion the zoning change is consistent with the comprehensive plan given the currently utility availability, permitted land uses in this district, and maximum density allowed.

Since the majority of the surrounding land use is low density residential and staff opinion is that this proposal is consistent with the comprehensive land use plan, staff recommends approval of this proposed zoning map amendment.

- Attachments: A) Application
B) Consistency statement

CITY OF BELMONT
Application for Zoning Map Amendment (Rezoning)

Date Filed 10 / 27 / 2016	To be completed by City of Belmont Application Number ZA-2016.13
To be completed by City of Belmont: Hearing Date(s) P&Z 11 / 17 / 2016	To be completed by City of Belmont City Council 12 / 5 / 2016

To the Planning and Zoning Board and City Council of Belmont, NC:

I (we) the undersigned do hereby respectfully make application and request the Planning and Zoning Board and City Council to amend the zoning map of the City of Belmont:

In support of this application, the following facts are shown:

Current Zoning (circle one)	R-R	S-R	<u>G-R</u>	NC-R	INF-R	MH-R
	NC-C	H-C	R-C	BC-D	IC-D	<u>TN-D</u>
Proposed Zoning (circle one)	<u>R-R</u>	S-R	G-R	NC-R	INF-R	MH-R
	NC-C	H-C	R-C	BC-D	IC-D	TN-D
Conditional District? (CD) <input type="checkbox"/>						

***SPPO**

Physical Property Address: Lot W, Tucker Rd. Belmont NC 28012		
Physical Description of Location: Smith M Southpoint Rd. right into Tucker Rd, no lot begins on left at high voltage wires.		
Tax Parcel Number: (PID Number) 210744 201479		
Property Owner: Andrew & Kelli Mossman (Kelli Rin Fadel irrevocable trust)		
Owner's Address: 17 Johnson St Apt 12		
City: Belmont	State: NC	Zip: 28012
Phone Number: (336) 391-7873		Email Address: Mossman.drew@gmail.com
Applicant Name if different than owner:		Applicant Phone Number if different than owner:
Applicant Email Address if different than owner:		

The City of Belmont is required to notify all property owners within one hundred (100) feet of the boundary of the property. Those properties immediately across the ROW from the property shall be included in this list. The City will also post the subject property with at least one rezoning sign and will advertise the rezoning request in the local newspaper.

Kelli Morrison
[Signature]

Signature of Property Owner

[Signature]

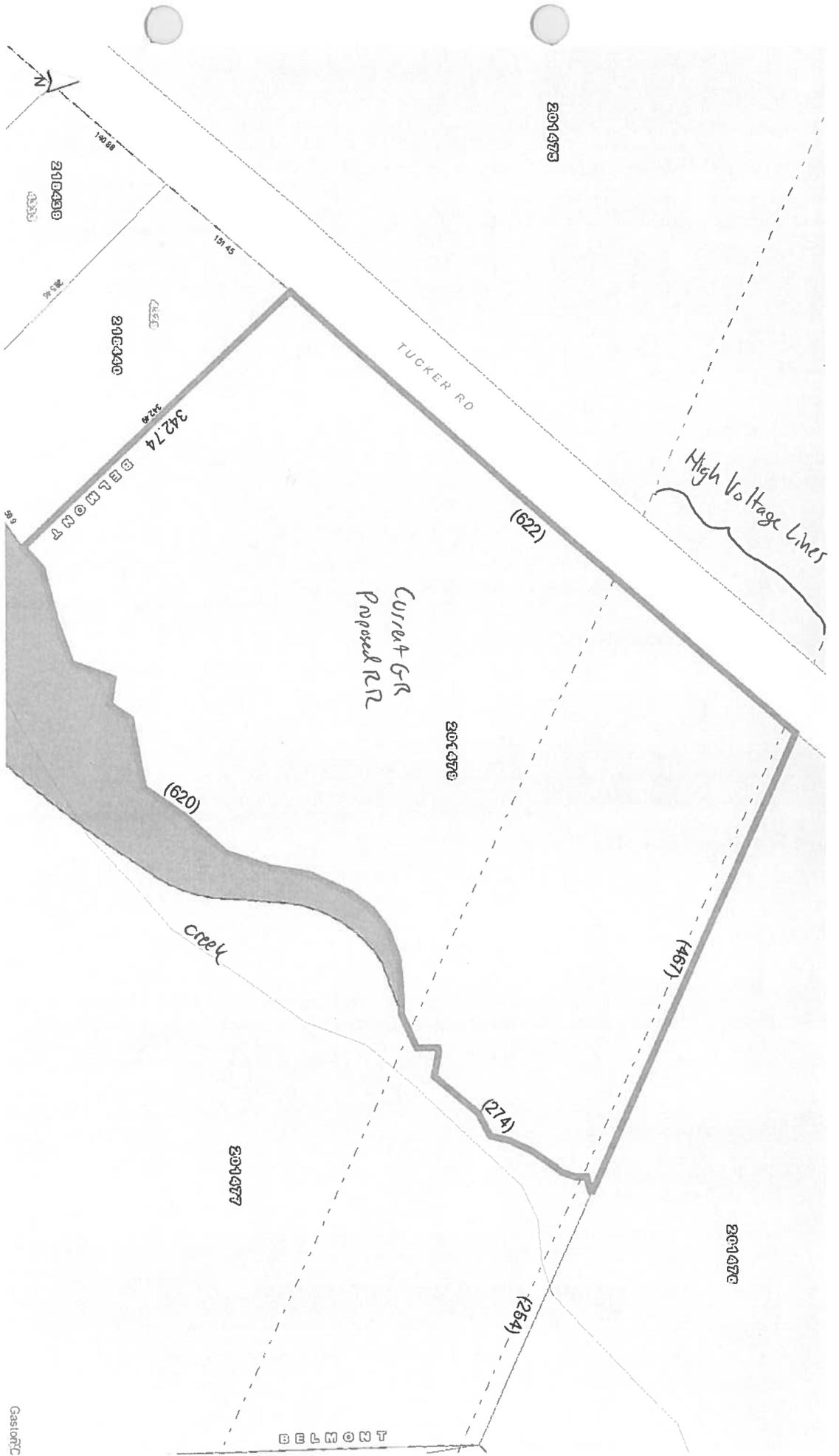
Signature of Applicant, if different than the property owner

\$680 paid

Application Fee (Dept Use Only)

-Please note...The applicant is responsible for the costs of all public notices required by state law. The City will be responsible for the dissemination of the advertisements and will arrange to have the bills sent directly to the applicant. Any changes to this policy must be made prior to the submission of the application.

-This application must be signed by the property owner or their authorized agent.





City of Belmont

115 North Main St.
P. O. Box 431
Belmont, NC 28012
704 825 5586
Fax: 704 825 0514

Statement of consistency

In considering the zoning map amendment associated with petition ZA.2016.13, the Belmont planning and zoning board finds the map amendment to be consistent/inconsistent with the Belmont comprehensive land use plan and all other adopted plans for the City of Belmont.

This finding is supported by a _____ vote by the Belmont planning and zoning board during its 17 November 2016 meeting.

Neil Brennan, chairman

Date